

CATALOGUE NO. 8752.1

EMBARGOED UNTIL 11.30 A.M. 13 APRIL 1995

BUILDING ACTIVITY, NEW SOUTH WALES DECEMBER QUARTER 1994

SUMMARY OF FINDINGS

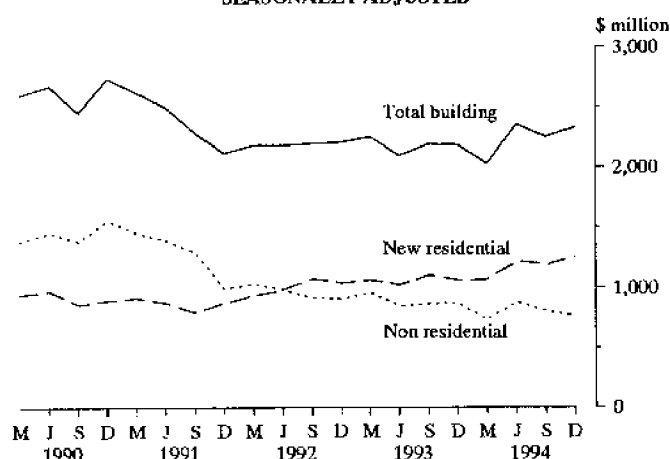
Value of building work done at average 1989-90 prices, seasonally adjusted

	Percentage change on	
	Sept. quarter 1994	Dec. quarter 1993
New residential building	5.4	18.0
Alterations and additions to residential buildings	2.8	23.3
Non-residential building	-4.8	-12.2
Total building	3.3	6.6

- In seasonally adjusted average 1989-90 prices, the total value of building work done for the December quarter 1994 was \$2,328.6 million. This was an increase of 3.3% on the previous quarter and 6.6% on a year earlier.

- The value of work done on new residential building rose 5.4% during the December quarter to \$1,252.3 million, a record since the series began with the September quarter 1974. In particular, work done on other residential buildings rose \$34.6 million or 7.8% to \$480.5 million, the third successive record since the series began with the September quarter 1980.
- Work done on residential alterations and additions, at \$281.4 million for the December quarter, was up 23.3% on a year earlier and was the second successive record since the series began with the September quarter 1980.
- However, work done on non-residential building fell by 4.8% to \$764.6 million, only \$35.1 million above the March quarter 1994 figure which was the lowest since the December quarter 1984.

VALUE OF WORK DONE
AT AVERAGE 1989-90 PRICES
SEASONALLY ADJUSTED



INQUIRIES

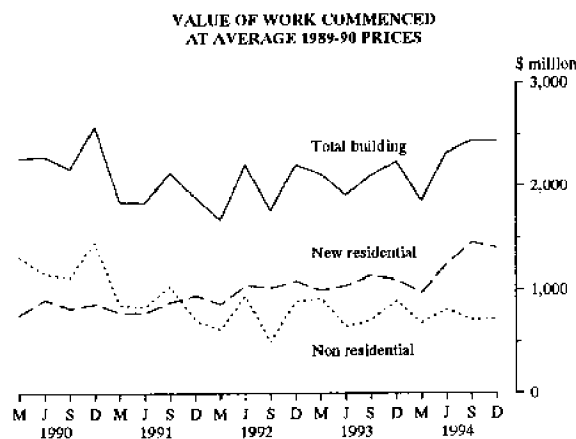
- for more information about statistics in this publication and the availability of related unpublished statistics, contact Rex Porter on Adelaide (08) 237 7496 or any ABS State Office.
- for information about other ABS statistics and services please refer to the back of this publication.

SUMMARY OF FINDINGS – continued

Value of building work commenced at average 1989–90 prices

	Percentage change on	
	Sept. quarter 1994	Dec. quarter 1993
New residential building	-3.7	28.1
Alterations and additions to residential buildings	12.1	25.2
Non-residential building	2.5	-19.1
Total building	-0.1	8.9

- In average 1989–90 prices (but not seasonally adjusted) the total value of building work commenced during the December quarter 1994 was \$2,440.5 million. This was little changed from the previous quarters' figure, the highest since the December quarter 1990.
- The value of new residential building commenced, at \$1,399.3 million, was down 3.7% from the September quarters' record level, but 28.1% above the level of a year earlier. Commencements of residential alterations and additions rose 12.1% to \$316.8 million for the December quarter 1994, a record since the series began with the September quarter 1973.
- Non-residential building commencements were up 2.5% for the December quarter but down 19.1% on a year

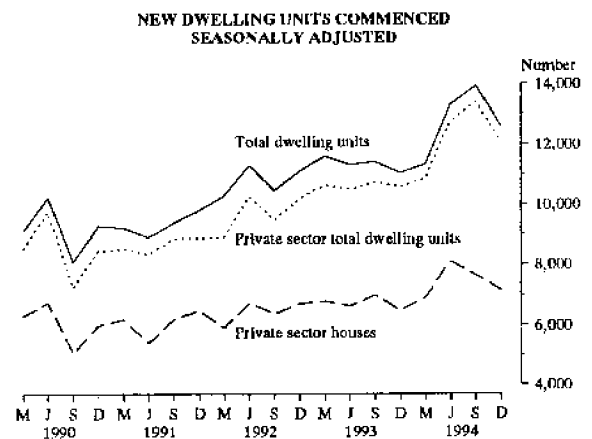


earlier.

Number of dwelling units commenced, seasonally adjusted

	Percentage change on	
	Sept. quarter 1994	Dec. quarter 1993
Private sector houses	-6.1	10.5
Private sector dwelling units	-10.0	14.0
Total dwelling units	-9.6	13.8

- In seasonally adjusted terms, the estimate of the total number of dwelling units commenced during the December quarter 1994 was 12,588. This was a decrease of 1,340 or 9.6% from the previous quarter which had recorded the highest number of commencements since the March quarter 1981.
- Commencements of private sector houses fell by 6.1% during the December quarter and have now fallen by

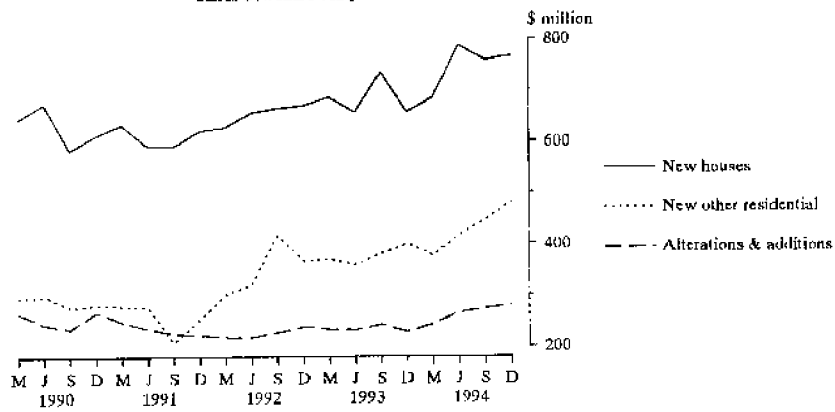


12.9% over the last 2 quarters.

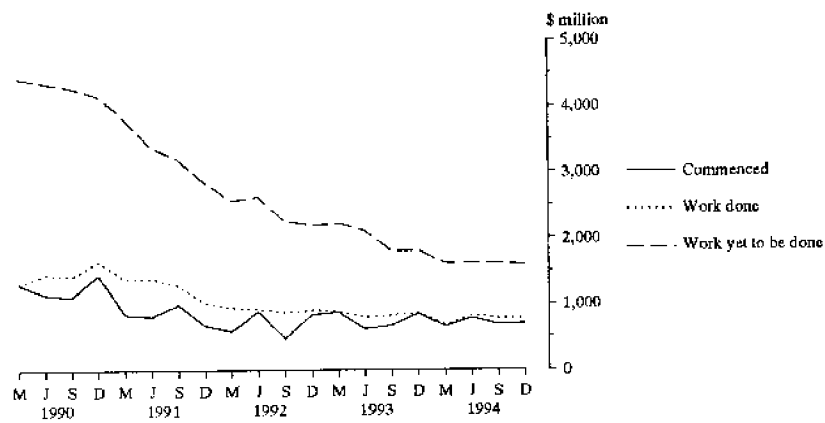
Original unadjusted data

- The total value of building work commenced (unadjusted, at current prices) during the December quarter 1994 was \$2,483.5 million. Of this, \$1,435.8 million was for new residential building resulting in 13,201 dwelling units.
- The total value of work done during the December quarter rose \$126.5 million or 5.3% to \$2,496.2 million while the value of work yet to be done on jobs under construction at the end of December 1994 rose by \$88.4 million to \$3,729.8 million. The latter increase was largely due to an increase of \$159.6 million in the other residential building category.

VALUE OF RESIDENTIAL WORK DONE
AT AVERAGE 1989-90 PRICES
SEASONALLY ADJUSTED



VALUE OF NON RESIDENTIAL BUILDING



VALUE OF NON-RESIDENTIAL WORK DONE

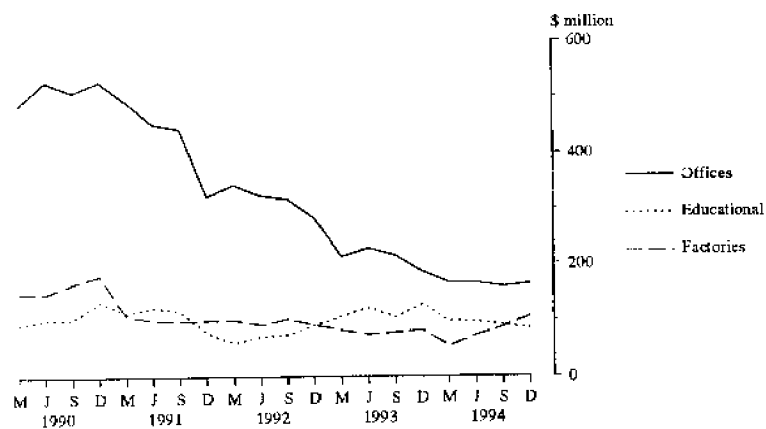


TABLE 1. SUMMARY OF BUILDING ACTIVITY, NSW

New residential building										Value (\$m)																													
Houses					Total		Non-residential building																																
Number of dwelling units		Value (\$m)		Number of dwelling units		Value (\$m)		Alterations and additions to residential buildings		Hotels etc.		Shops		Factories		Offices		Other business premises		Educa- tional		Reli- gious		Health		Enter- tainment and recrea- tional		Miscel- laneous		Total building									
COMPLETED																																							
1991-92		26,387		2,664.2		14,351		1,142.4		40,738		3,806.7		898.8		146.5		276.3		317.0		1,141.4		226.7		306.1		33.0		140.1		426.7		132.8		3,146.6		7,852.1	
1992-93		27,397		2,815.7		17,064		1,366.8		44,461		4,182.6		944.6		109.9		415.8		294.4		518.3		243.9		432.7		38.0		474.5		175.2		96.1		2,798.7		7,925.8	
1993-94		29,162		3,062.9		18,019		1,479.3		47,181		4,542.2		1,057.0		92.6		453.2		256.8		603.2		313.7		377.8		39.1		410.4		247.0		168.9		2,962.7		8,561.9	
1993 Sept. qtr		7,603		786.4		4,521		369.4		12,124		1,155.8		273.1		21.4		85.4		48.3		131.1		95.7		101.3		12.8		76.4		72.9		28.1		673.5		2,102.3	
Dec. qtr		6,786		711.7		4,815		397.6		11,601		1,109.3		271.0		38.2		108.0		56.7		225.8		98.3		108.1		11.2		68.8		62.7		74.8		852.7		2,233.0	
1994 Mar. qtr		6,247		665.1		3,522		331.5		10,169		996.5		219.4		14.2		49.0		35.2		147.1		46.2		61.5		7.9		190.5		75.1		27.9		654.7		1,870.6	
June qtr		8,526		899.8		4,761		380.9		13,287		1,280.6		293.5		18.8		210.8		116.5		99.2		73.5		106.9		7.1		74.7		36.3		38.0		781.8		2,355.9	
Sept. qtr		8,256		875.5		6,482		612.7		14,738		1,488.2		305.8		9.8		154.1		102.1		92.6		54.2		60.2		5.7		114.7		47.8		42.5		683.6		2,477.6	
Dec. qtr		7,528		809.9		5,673		625.9		13,201		1,435.8		344.4		29.7		69.4		70.4		122.9		76.4		92.8		8.9		74.0		44.2		114.7		703.4		2,483.5	
UNDER CONSTRUCTION AT END OF PERIOD																																							
1991-92		15,974		1,792.7		11,343		1,101.1		27,317		2,893.8		589.1		709.1		689.1		406.8		2,352.7		494.5		299.0		28.8		252.2		454.1		174.6		5,860.7		9,343.6	
1992-93		15,716		1,767.0		12,198		1,147.3		27,914		2,914.3		595.9		348.6		701.4		349.5		1,676.9		185.0		370.4		22.3		541.0		363.7		145.6		4,704.6		8,214.7	
1993-94		15,925		1,845.1		12,692		1,245.1		28,617		3,090.2		664.1		165.1		463.7		233.0		834.2		174.9		357.0		35.6		771.7		375.2		145.4		3,555.8		7,310.1	
1993 Sept. qtr		16,360		1,841.6		12,058		1,150.2		28,418		2,991.7		652.3		311.3		427.8		336.4		851.8		209.7		409.3		29.7		605.7		380.9		148.6		3,711.2		7,355.3	
Dec. qtr		14,578		1,674.7		11,616		1,139.3		26,194		2,814.0		612.1		328.6		342.7		198.7		884.7		225.0		400.3		32.9		628.0		377.4		141.9		3,560.1		6,986.1	
1994 Mar. qtr		13,896		1,627.0		11,440		1,124.4		25,336		2,751.4		606.9		161.5		317.7		161.5		914.5		191.0		316.3		33.3		753.6		390.2		129.8		3,369.4		6,727.6	
June qtr		15,925		1,845.1		12,692		1,245.1		28,617		3,090.2		664.1		165.1		463.7		233.0		834.2		174.9		357.0		35.6		771.7		375.2		145.4		3,555.8		7,310.1	
Sept. qtr		16,437		1,905.7		14,758		1,503.8		31,195		3,409.5		735.5		159.8		499.7		280.4		662.9		163.8		326.5		32.1		797.6		211.1		163.0		3,276.9		7,421.9	
Dec. qtr		15,779		1,851.4		16,313		1,802.9		32,092		3,654.3		816.6		148.5		447.2		277.9		645.8		176.9		299.7		28.1		755.8		167.6		256.3		3,203.6		7,674.6	
COMPLETED																																							
1991-92		25,254		2,575.7		12,586		1,057.4		37,840		3,633.1		973.1		741.7		287.4		308.9		1,719.4		560.3		487.6		33.1		214.1		304.3		279.9		4,936.7		9,542.9	
1992-93		27,182		2,826.4		15,840		1,332.8		43,022		4,159.1		964.9		471.1		414.8		400.8		1,204.3		595.8		362.0		45.0		205.8		189.6		123.4		4,012.5		9,136.6	
1993-94		28,630		3,014.7		17,230		1,405.7		45,860		4,420.4		1,018.5		60.0		683.5		375.8		1,325.0		306.1		401.6		27.0		189.8		233.7		175.0		3,777.5		9,216.4	
1993 Sept. qtr		6,884		723.2		4,541		367.9		11,425		1,091.1		224.3		11.3		357.7		54.6		842.0		60.5		62.3		5.9		15.3		55.6		28.8		1,494.2		2,809.6	
Dec. qtr		8,479		884.2		5,190		415.2		13,669		1,299.5		314.0		22.2		186.9		199.5		193.3		88.5		126.5		7.4		45.6		67.4		82.6		1,020.0		2,633.5	
1994 Mar. qtr		6,847		718.6		4,063		347.9		10,910		1,066.5		237.8		9.1		73.5		72.8		119.5		72.5		145.2		9.4		65.6		58.2		35.9		661.6		1,965.9	
June qtr		6,420		688.6		3,436		274.6		9,856		963.3		242.3		17.3		65.4		48.9		170.2		84.5		67.6		4.3		63.2		52.4		27.7		601.7		1,807.3	
Sept. qtr		7,666		821.3		4,463		364.0		12,022		1,185.3		253.0		14.6		118.4		76.9		305.4		63.5		93.2		9.3		92.5		232.8		25.9		1,032.7		2,471.0	
Dec. qtr		8,143		873.2		4,052		326.6		12,195		1,199.8		280.6		40.9		132.6		76.1		128.4		66.0		120.8		13.2		133.8		94.6		21.9		828.4		2,308.8	

TABLE 1. SUMMARY OF BUILDING ACTIVITY, NSW—continued

Period	New residential building					Value (\$m)												
	Other residential buildings			Total		Non-residential building												
	Number of dwelling units	Value (\$m)	Number of dwelling units	Value (\$m)	Alterations and additions to residential buildings	Hotels etc.	Shops	Factories	Offices	Business premises	Educational	Religious	Health	Recreational	Miscellaneous	Total	Total building	
VALUE OF WORK DONE DURING PERIOD																		
1991-92	..	2,660.7	..	1,028.3	3,689.0	941.8	391.6	456.6	391.4	1,433.1	461.8	326.5	31.3	212.9	266.8	195.4	4,167.5	8,798.3
1992-93	..	2,850.2	..	1,403.9	4,254.1	990.9	133.0	480.9	350.1	1,041.8	295.8	393.3	44.5	322.7	269.3	148.6	3,450.0	8,695.0
1993-94	..	3,092.2	..	1,466.3	4,558.6	1,055.5	95.2	450.1	286.7	732.9	314.2	425.7	35.2	377.8	347.7	137.8	3,203.2	8,817.2
1993 Sept. qtr	..	805.2	..	361.2	1,166.4	268.3	20.5	135.2	77.9	214.9	65.9	104.6	6.9	77.4	97.2	25.2	825.8	2,260.4
Dec. qtr	..	749.2	..	394.4	1,143.6	271.7	23.4	125.5	81.7	186.5	92.5	127.7	9.1	87.6	98.4	38.2	870.4	2,285.7
1994 Mar. qtr	..	690.6	..	333.0	1,023.5	234.7	19.3	64.5	53.9	165.7	69.7	97.4	10.6	87.4	77.5	30.0	676.2	1,934.3
June qtr	..	847.3	..	377.7	1,225.1	280.8	32.0	124.8	73.2	165.9	86.0	95.9	8.6	125.3	74.6	44.4	830.9	2,336.7
Sept. qtr	..	847.5	..	432.2	1,279.7	309.7	34.4	130.5	87.3	158.5	61.9	91.4	9.4	76.1	87.4	43.4	780.3	2,369.7
Dec. qtr	..	889.8	..	486.5	1,376.4	341.5	22.6	143.4	106.8	164.1	52.9	83.6	8.1	86.8	64.2	45.8	778.4	2,496.2
VALUE OF WORK YET TO BE DONE																		
1991-92	..	791.6	..	618.9	1,410.5	251.6	331.0	326.4	137.2	1,075.0	102.7	142.9	16.4	75.9	328.0	87.0	2,622.6	4,284.7
1992-93	..	780.7	..	609.3	1,390.0	246.9	308.8	305.2	134.0	593.9	95.7	188.2	10.8	254.4	190.7	34.4	2,116.0	3,753.0
1993-94	..	814.8	..	667.5	1,482.3	285.4	110.6	302.9	114.2	378.1	91.9	153.1	16.6	297.3	93.3	72.4	1,630.3	3,398.0
1993 Sept. qtr	..	780.6	..	623.2	1,403.8	261.8	265.3	254.1	103.6	396.2	121.7	185.0	17.2	257.2	167.7	41.7	1,809.7	3,475.3
Dec. qtr	..	757.4	..	638.2	1,395.6	265.0	281.4	230.7	84.0	436.1	132.5	176.1	19.3	237.5	134.8	79.6	1,812.0	3,472.5
1994 Mar. qtr	..	741.6	..	641.7	1,383.2	264.1	121.7	216.1	66.4	419.6	101.8	140.3	18.5	341.2	128.6	73.4	1,627.6	3,274.9
June qtr	..	814.8	..	667.5	1,482.3	285.4	110.6	302.9	114.2	378.1	91.9	153.1	16.6	297.3	93.3	72.4	1,630.3	3,398.0
Sept. qtr	..	855.5	..	861.4	1,716.8	301.0	85.6	327.3	131.1	370.7	82.9	126.1	13.1	339.6	74.7	72.6	1,623.6	3,641.4
Dec. qtr	..	785.4	..	1,021.0	1,806.4	321.9	92.5	263.9	118.6	317.8	109.1	137.0	14.2	344.8	61.6	142.0	1,601.5	3,729.8

NOTE: The number of self-contained dwelling units commenced as part of the construction of non-residential building and alterations and additions to existing buildings (including conversions to dwelling units) are excluded from this table. There were 1098 such dwelling units commenced in the December quarter 1994.

TABLE 2. SUMMARY OF PRIVATE SECTOR BUILDING ACTIVITY, NSW

Period	Value (\$m)									
	New residential building					Non-residential building				
	Houses		Other residential buildings			Total				
	Number of dwelling units	Value (\$m)	Number of dwelling units	Value (\$m)	Alterations and additions to residential buildings (\$m)	Number of dwelling units	Value (\$m)	Offices	Factories	Shops
COMPLETED										
1991-92	25,412	2,583.9	11,542	911.3	3,495.1	893.5	145.8	265.4	305.3	711.3
1992-93	26,554	2,734.1	14,225	1,163.3	3,897.4	939.1	107.9	378.7	290.8	349.3
1993-94	28,547	3,003.6	16,385	1,374.8	4,378.4	1,050.4	89.2	433.2	250.6	379.7
1993 Sept. qtr	7,403	766.9	3,840	330.7	1,097.6	269.7	20.8	83.4	48.1	102.8
Dec. qtr	6,699	703.0	4,571	379.5	1,082.5	269.8	37.6	96.1	54.8	84.9
1994 Mar. qtr	6,153	655.5	3,642	313.2	968.6	218.7	13.7	48.1	34.0	117.0
June qtr	8,292	878.3	4,332	351.5	1,229.8	292.1	17.1	205.7	113.8	75.0
Sept. qtr	8,072	857.3	5,948	577.5	1,434.8	303.9	9.8	151.7	85.6	71.3
Dec. qtr	7,422	799.4	5,436	609.8	1,409.1	342.2	27.5	62.2	64.6	111.9
UNDER CONSTRUCTION AT END OF PERIOD										
1991-92	15,764	1,775.2	9,069	994.1	2,679.3	586.4	708.4	686.3	398.6	1,391.8
1992-93	15,326	1,729.9	10,377	1,017.8	2,747.7	592.7	347.3	672.8	346.8	973.1
1993-94	15,727	1,827.5	11,762	1,181.0	3,008.5	662.0	162.9	447.7	227.7	419.6
1993 Sept. qtr	16,094	1,815.4	10,449	1,047.9	2,863.3	646.6	309.7	424.0	333.7	478.7
Dec. qtr	14,497	1,665.6	11,058	1,099.5	2,765.1	609.3	327.3	328.0	194.3	426.0
1994 Mar. qtr	13,807	1,617.3	10,800	1,081.9	2,699.2	605.0	160.9	304.1	156.0	458.8
June qtr	15,727	1,827.5	11,762	1,181.0	3,008.5	662.0	162.9	447.7	227.7	419.6
Sept. qtr	16,185	1,881.0	13,593	1,423.3	3,304.4	733.2	158.3	484.7	241.5	417.7
Dec. qtr	15,642	1,836.4	15,386	1,740.8	3,577.2	814.3	144.9	434.5	255.1	470.8
COMPLETED										
1991-92	24,303	2,493.7	10,230	797.6	3,291.3	947.5	741.7	278.0	296.6	1,253.3
1992-93	26,519	2,764.2	12,548	1,059.9	3,824.1	959.9	469.9	402.9	390.1	775.7
1993-94	27,823	2,935.8	14,709	1,233.0	4,168.8	1,010.6	57.5	651.0	372.0	834.7
1993 Sept. qtr	6,580	692.8	3,652	303.0	995.9	223.5	11.1	330.8	54.2	489.8
Dec. qtr	8,207	858.4	3,895	334.0	1,192.4	309.8	21.2	185.9	199.2	138.5
1994 Mar. qtr	6,761	709.5	3,865	331.6	1,041.2	236.1	7.9	71.6	72.6	86.6
June qtr	6,295	675.0	3,297	264.4	939.4	241.2	17.2	62.7	46.0	119.8
Sept. qtr	7,535	810.1	4,057	345.0	1,155.1	251.3	13.8	114.9	74.3	75.9
Dec. qtr	7,922	853.1	3,577	292.0	1,145.1	278.8	40.9	122.9	74.3	77.3
Total building										
1991-92	25,412	2,583.9	11,542	911.3	3,495.1	893.5	145.8	265.4	305.3	711.3
1992-93	26,554	2,734.1	14,225	1,163.3	3,897.4	939.1	107.9	378.7	290.8	349.3
1993-94	28,547	3,003.6	16,385	1,374.8	4,378.4	1,050.4	89.2	433.2	250.6	379.7
1993 Sept. qtr	7,403	766.9	3,840	330.7	1,097.6	269.7	20.8	83.4	48.1	102.8
Dec. qtr	6,699	703.0	4,571	379.5	1,082.5	269.8	37.6	96.1	54.8	84.9
1994 Mar. qtr	6,153	655.5	3,642	313.2	968.6	218.7	13.7	48.1	34.0	117.0
June qtr	8,292	878.3	4,332	351.5	1,229.8	292.1	17.1	205.7	113.8	75.0
Sept. qtr	8,072	857.3	5,948	577.5	1,434.8	303.9	9.8	151.7	85.6	71.3
Dec. qtr	7,422	799.4	5,436	609.8	1,409.1	342.2	27.5	62.2	64.6	111.9
Total building										
1991-92	15,764	1,775.2	9,069	994.1	2,679.3	586.4	708.4	686.3	398.6	1,391.8
1992-93	15,326	1,729.9	10,377	1,017.8	2,747.7	592.7	347.3	672.8	346.8	973.1
1993-94	15,727	1,827.5	11,762	1,181.0	3,008.5	662.0	162.9	447.7	227.7	419.6
1993 Sept. qtr	16,094	1,815.4	10,449	1,047.9	2,863.3	646.6	309.7	424.0	333.7	478.7
Dec. qtr	14,497	1,665.6	11,058	1,099.5	2,765.1	609.3	327.3	328.0	194.3	426.0
1994 Mar. qtr	13,807	1,617.3	10,800	1,081.9	2,699.2	605.0	160.9	304.1	156.0	458.8
June qtr	15,727	1,827.5	11,762	1,181.0	3,008.5	662.0	162.9	447.7	227.7	419.6
Sept. qtr	16,185	1,881.0	13,593	1,423.3	3,304.4	733.2	158.3	484.7	241.5	417.7
Dec. qtr	15,642	1,836.4	15,386	1,740.8	3,577.2	814.3	144.9	434.5	255.1	470.8
Total building										
1991-92	24,303	2,493.7	10,230	797.6	3,291.3	947.5	741.7	278.0	296.6	1,253.3
1992-93	26,519	2,764.2	12,548	1,059.9	3,824.1	959.9	469.9	402.9	390.1	775.7
1993-94	27,823	2,935.8	14,709	1,233.0	4,168.8	1,010.6	57.5	651.0	372.0	834.7
1993 Sept. qtr	6,580	692.8	3,652	303.0	995.9	223.5	11.1	330.8	54.2	489.8
Dec. qtr	8,207	858.4	3,895	334.0	1,192.4	309.8	21.2	185.9	199.2	138.5
1994 Mar. qtr	6,761	709.5	3,865	331.6	1,041.2	236.1	7.9	71.6	72.6	86.6
June qtr	6,295	675.0	3,297	264.4	939.4	241.2	17.2	62.7	46.0	119.8
Sept. qtr	7,535	810.1	4,057	345.0	1,155.1	251.3	13.8	114.9	74.3	75.9
Dec. qtr	7,922	853.1	3,577	292.0	1,145.1	278.8	40.9	122.9	74.3	77.3
Total building										
1991-92	25,412	2,583.9	11,542	911.3	3,495.1	893.5	145.8	265.4	305.3	711.3
1992-93	26,554	2,734.1	14,225	1,163.3	3,897.4	939.1	107.9	378.7	290.8	349.3
1993-94	28,547	3,003.6	16,385	1,374.8	4,378.4	1,050.4	89.2	433.2	250.6	379.7
1993 Sept. qtr	7,403	766.9	3,840	330.7	1,097.6	269.7	20.8	83.4	48.1	102.8
Dec. qtr	6,699	703.0	4,571	379.5	1,082.5	269.8	37.6	96.1	54.8	84.9
1994 Mar. qtr	6,153	655.5	3,642	313.2	968.6	218.7	13.7	48.1	34.0	117.0
June qtr	8,292	878.3	4,332	351.5	1,229.8	292.1	17.1	205.7	113.8	75.0
Sept. qtr	8,072	857.3	5,948	577.5	1,434.8	303.9	9.8	151.7	85.6	71.3
Dec. qtr	7,422	799.4	5,436	609.8	1,409.1	342.2	27.5	62.2	64.6	111.9
Total building										
1991-92	15,764	1,775.2	9,069	994.1	2,679.3	586.4	708.4	686.3	398.6	1,391.8
1992-93	15,326	1,729.9	10,377	1,017.8	2,747.7	592.7	347.3	672.8	346.8	973.1
1993-94	15,727	1,827.5	11,762	1,181.0	3,008.5	662.0	162.9	447.7	227.7	419.6
1993 Sept. qtr	16,094	1,815.4	10,449	1,047.9	2,863.3	646.6	309.7	424.0	333.7	478.7
Dec. qtr	14,497	1,665.6	11,058	1,099.5	2,765.1	609.3	327.3	328.0	194.3	426.0
1994 Mar. qtr	13,807	1,617.3	10,800	1,081.9	2,699.2	605.0	160.9	304.1	156.0	458.8
June qtr	15,727	1,827.5	11,762	1,181.0	3,008.5	662.0	162.9	447.7	227.7	419.6
Sept. qtr	16,185	1,881.0	13,593	1,423.3	3,304.4	733.2	158.3	484.7	241.5	417.7
Dec. qtr	15,642	1,836.4	15,386	1,740.8	3,577.2	814.3	144.9	434.5	255.1	470.8
Total building										
1991-92	24,303	2,493.7	10,230	797.6	3,291.3	947.5	741.7	278.0	296.6	1,253.3
1992-93	26,519	2,764.2	12,548	1,059.9	3,824.1	959.9	469.9	402.9	390.1	775.7
1993-94	27,823	2,935.8	14,709	1,233.0	4,168.8	1,010.6	57.5	651.0	372.0	834.7
1993 Sept. qtr	6,580	692.8	3,652	303.0	995.9	223.5	11.1	330.8	54.2	489.8
Dec. qtr	8,207	858.4	3,895	334.0	1,192.4	309.8	21.2	185.9	199.2	138.5
1994 Mar. qtr	6,761	709.5	3,865	331.6	1,041.2	236.1	7.9	71.6	72.6	86.6
June qtr	6,295	675.0	3,297	264.4	939.4	241.2	17.2	62.7	46.0	119.8
Sept. qtr	7,535	810.1	4,057	345.0	1,155.1	251.3	13.8	114.9	74.3	75.9
Dec. qtr	7,922	853.1	3,577	292.0	1,145.1	278.8	40.9	122.9	74.3	77.3
Total building										
1991-92	25,412	2,583.9	11,542	911.3	3,495.1	893.5	145.8	265.4	305.3	711.3
1992-93	26,554	2,734.1	14,225	1,163.3	3,897.4	939.1	107.9	378.7	290.8	349.3
1993-94	28,547	3,003.6	16,385	1,374.8	4,378.4	1,050.4	89.2	433.2	250.6	379.7
1993 Sept. qtr	7,403	766.9	3,840	330.7	1,097.6	269.7	20.8	83.4	48.1	102.8
Dec. qtr	6,699	703.0	4,571	379.5	1,082.5	269.8	37.6	96.1	54.8	84.9
1994 Mar. qtr	6,153	655.5	3,642	313.2	968.6	218.7	13.7	48.1	34.0	117.0
June qtr	8,292	878.3	4,332	351.5	1,229.8	292.1	17.1	205.7	113.8	75.0
Sept. qtr	8,072	857.3	5,948	577.5	1,434.8	303.9	9.8	151.7	85.6	71.3
Dec. qtr	7,422	799.4	5,436	609.8	1,409.1	342.2	27.5	62.2	64.6	

TABLE 3. SUMMARY OF PUBLIC SECTOR BUILDING ACTIVITY, NSW

New residential building					Value (\$m)														
Other residential buildings				Total	Non-residential building														
Houses	Alterations and additions to residential buildings			Other business premises															
Number of dwelling units	Value (\$m)	Number of dwelling units	Value (\$m)	Value (\$m)	Hotels etc.	Shops	Factories	Offices	Other business premises	Educational	Recreational	Health	Miscellaneous	Total building					
COMMENCED																			
1991-92	975	80.4	2,809	231.2	3,784	311.5	5.3	0.7	10.9	11.6	430.1	58.3	222.0	0.2	69.3	212.2	52.3	1,067.7	1,384.6
1992-93	843	81.6	2,839	203.6	3,682	285.1	5.5	1.9	37.1	3.6	169.0	54.1	308.4	—	407.1	40.8	41.9	1,064.0	1,354.6
1993-94	615	59.3	1,634	104.5	2,249	163.8	6.6	3.3	19.9	6.2	223.5	85.2	292.9	—	185.5	41.4	84.6	942.4	1,112.8
1993 Sept. qtr	200	19.5	681	38.7	881	58.2	3.3	0.5	2.0	0.2	28.3	19.5	76.0	—	10.2	13.5	9.0	159.1	220.6
Dec. qtr	87	8.7	244	18.1	331	26.8	1.2	0.6	11.9	1.9	140.9	40.5	79.2	—	52.5	16.1	54.8	398.4	426.4
1994 Mar. qtr	94	9.6	280	18.3	374	27.9	0.7	0.4	0.9	1.3	30.2	12.5	48.3	—	110.5	7.2	6.7	218.0	246.6
June qtr	234	21.5	429	29.4	663	50.9	1.4	1.8	5.1	2.8	24.1	12.7	89.4	—	12.3	4.5	14.2	167.0	219.2
Sept. qtr	184	18.2	534	35.2	718	53.4	1.9	—	2.4	16.5	21.3	7.5	36.2	—	93.5	8.4	22.8	208.6	263.9
Dec. qtr	106	10.5	237	16.2	343	26.7	2.2	2.2	7.2	5.7	11.0	33.9	48.9	—	57.6	2.8	90.5	259.9	288.7
UNDER CONSTRUCTION AT END OF PERIOD																			
1991-92	210	17.5	2,274	197.0	2,484	214.4	2.7	0.7	2.8	8.3	960.9	299.6	251.5	0.2	197.2	200.8	91.6	2,013.6	2,230.8
1992-93	390	37.1	1,821	129.4	2,211	166.5	3.2	1.3	28.7	2.7	703.8	34.7	303.1	—	490.2	227.5	87.4	1,879.4	2,049.1
1993-94	198	17.6	930	64.1	1,128	81.7	2.1	2.2	16.0	5.4	414.6	12.1	319.7	—	575.7	216.4	73.8	1,635.8	1,719.6
1993 Sept. qtr	266	26.2	1,609	102.2	1,875	128.5	5.7	1.6	3.8	2.7	373.1	33.6	334.6	—	493.6	229.5	92.7	1,565.1	1,699.3
Dec. qtr	81	9.1	558	39.8	639	48.9	2.8	1.2	14.7	4.4	458.7	54.6	322.8	—	526.2	226.6	78.9	1,688.1	1,759.7
1994 Mar. qtr	89	9.7	640	42.5	729	52.1	1.9	0.5	13.6	5.5	455.7	30.0	270.6	—	592.6	223.7	67.1	1,659.3	1,713.3
June qtr	198	17.6	930	64.1	1,128	81.7	2.1	2.2	16.0	5.4	414.6	12.1	319.7	—	575.7	216.4	73.8	1,635.8	1,719.6
Sept. qtr	252	24.6	1,165	80.5	1,417	105.1	2.3	1.4	15.0	18.9	245.2	10.3	275.7	—	635.7	28.4	90.0	1,320.6	1,427.9
Dec. qtr	137	15.0	927	62.1	1,064	77.1	2.3	3.6	12.7	22.8	175.0	35.9	218.0	—	595.5	21.0	174.4	1,259.1	1,338.5
COMPLETED																			
1991-92	951	82.0	2,356	259.8	3,307	341.8	25.6	—	9.4	12.3	466.1	233.5	334.7	—	145.2	52.3	163.2	1,416.7	1,784.1
1992-93	663	62.2	3,292	272.9	3,955	335.1	5.0	1.2	11.9	10.7	428.6	358.2	255.8	0.2	128.5	27.7	47.9	1,270.7	1,610.8
1993-94	807	78.8	2,521	172.7	3,328	251.5	7.9	2.5	32.5	3.8	490.3	92.0	294.7	—	100.8	52.0	101.7	1,170.3	1,429.7
1993 Sept. qtr	324	30.4	889	64.9	1,213	95.3	0.8	0.2	26.9	0.4	352.2	20.3	49.8	—	7.7	11.6	7.1	476.3	572.4
Dec. qtr	272	25.8	1,295	81.2	1,567	107.1	4.2	1.0	1.0	0.3	54.8	22.2	101.6	—	16.7	19.8	69.0	286.4	397.7
1994 Mar. qtr	86	9.0	198	16.3	284	25.3	1.7	1.2	1.9	9.2	33.9	27.7	101.2	—	45.8	10.6	16.4	237.8	264.8
June qtr	125	13.6	139	10.2	264	23.9	1.2	0.1	2.6	2.9	50.4	21.7	42.1	—	30.6	10.0	9.2	169.8	194.8
Sept. qtr	131	11.1	299	19.0	430	30.2	1.7	0.8	3.4	2.6	229.5	9.7	83.1	—	34.1	197.6	7.0	567.9	599.8
Dec. qtr	221	20.1	475	34.6	696	54.7	1.8	—	9.7	1.8	51.1	8.4	106.3	—	117.6	12.3	6.2	313.3	369.8

TABLE 3. SUMMARY OF PUBLIC SECTOR BUILDING ACTIVITY, NSW—continued

Period	New residential building					Value (\$m)												
	Other residential buildings					Non-residential building												
	Houses	Total																
	Number of dwelling units	Value (\$m)	Number of dwelling units	Value (\$m)	Alterations and additions to residential buildings	Hotels etc.	Shops	Factories	Offices	Other business premises	Educational	Religious	Health	Recreational	Miscellaneous	Total building		
VALUE OF WORK DONE DURING PERIOD																		
1991-92	..	81.1	..	205.3	..	286.4	8.7	0.5	9.7	12.4	481.3	234.0	224.1	—	151.0	55.3	1,268.9	
1992-93	..	73.5	..	261.2	..	334.7	4.4	1.2	32.6	6.4	417.9	89.6	288.1	0.2	242.8	100.1	1,253.3	
1993-94	..	65.2	..	117.8	..	183.0	7.9	3.1	19.0	6.2	347.1	88.0	324.4	—	220.3	151.2	1,224.6	
1993 Sept. qtr	..	27.1	..	48.8	..	76.0	3.2	0.7	6.4	0.7	89.6	24.5	79.9	—	49.0	47.0	312.3	
Dec. qtr	..	14.1	..	38.8	..	52.9	2.6	1.2	1.7	1.1	86.2	27.1	89.6	—	55.4	46.1	328.5	
1994 Mar. qtr	..	8.2	..	12.7	..	20.9	0.9	0.3	4.1	1.1	89.1	20.6	72.5	—	52.1	31.7	283.6	
June qtr	..	15.8	..	17.5	..	33.3	1.2	0.9	6.8	3.2	82.2	15.8	82.4	—	63.8	26.4	300.2	
Sept. qtr	..	18.7	..	34.7	..	53.4	1.6	0.3	5.4	1.2	59.1	8.4	76.1	—	42.0	20.7	235.0	
Dec. qtr	..	13.4	..	29.4	..	42.8	1.8	2.6	5.0	4.7	33.9	15.5	58.8	—	53.9	5.5	203.9	
248.4																		
VALUE OF WORK YET TO BE DONE																		
1991-92	..	8.0	..	102.9	..	110.8	0.8	0.3	1.4	2.0	434.6	11.2	121.0	0.2	45.6	176.3	841.2	
1992-93	..	16.3	..	47.2	..	63.4	1.9	0.9	6.5	0.8	213.8	14.9	145.4	—	224.3	130.8	820.6	
1993-94	..	10.4	..	36.9	..	47.3	0.8	1.2	7.5	1.0	95.7	4.5	133.1	—	190.3	20.6	542.8	
1993 Sept. qtr	..	8.6	..	36.2	..	44.9	2.1	0.7	2.2	0.5	146.0	10.2	146.9	—	186.3	97.3	653.1	
Dec. qtr	..	3.2	..	16.3	..	19.5	0.8	0.1	12.4	1.3	200.2	25.8	147.9	—	180.3	68.1	707.2	
1994 Mar. qtr	..	4.6	..	22.5	..	27.1	0.6	0.3	9.2	1.5	141.0	8.9	124.4	—	240.4	44.3	613.4	
June qtr	..	10.4	..	36.9	..	47.3	0.8	1.2	7.5	1.0	95.7	4.5	133.1	—	190.3	20.6	494.7	
Sept. qtr	..	9.9	..	37.6	..	47.5	1.1	0.9	4.4	15.9	96.7	4.1	97.8	—	242.4	9.5	514.1	
Dec. qtr	..	6.9	..	24.5	..	31.4	1.2	0.5	6.9	16.9	43.8	22.6	88.2	—	265.9	8.8	562.6	
595.2																		

TABLE 4. VALUE OF BUILDING ACTIVITY BY CLASS OF BUILDING AND STAGE OF CONSTRUCTION, SYDNEY STATISTICAL DIVISION
(\$m)

Period	Other residential buildings (a)	Non-residential building								Entertain- ment and recreational	Miscellaneous	Total
		Hotels, etc.	Shops	Factories	Offices	Other business premises	Educational	Religious	Health			
COMMENCED												
1991-92	809.4	99.7	213.2	169.6	817.8	144.7	205.5	25.4	71.7	329.5	66.3	2,143.3
1992-93	992.4	86.7	326.6	210.8	434.3	149.9	265.3	12.6	400.4	109.4	50.4	2,046.4
1993-94	1,208.5	53.5	363.6	194.2	524.2	241.7	221.2	30.7	294.1	183.2	112.9	2,219.3
1993												
June qtr	256.5	7.8	53.1	64.2	92.9	25.6	90.0	1.8	12.5	31.1	12.1	391.1
Sept. qtr	297.5	10.4	58.1	35.1	114.5	79.5	34.0	9.9	21.5	57.5	18.1	458.3
Dec. qtr	347.8	29.1	82.1	31.9	212.5	78.4	63.3	9.3	59.6	48.7	60.8	675.8
1994												
Mar. qtr	250.6	5.3	36.6	22.3	118.5	30.1	31.1	6.5	155.7	60.3	16.7	483.3
June qtr	312.6	8.7	186.8	104.9	78.6	53.7	72.8	5.0	57.3	16.8	17.4	601.9
Sept. qtr	506.8	1.8	124.0	49.6	74.7	24.9	33.3	3.8	94.3	34.2	20.1	460.7
Dec. qtr	648.8	24.8	47.9	32.9	112.5	46.7	55.4	7.2	60.2	14.7	97.9	500.2
UNDER CONSTRUCTION AT END OF PERIOD												
1991-92	885.9	677.5	659.4	303.2	2,311.6	453.1	180.2	21.5	179.5	388.2	116.4	5,290.5
1992-93	918.2	332.5	649.0	289.3	1,641.2	137.8	237.6	12.8	481.9	293.2	110.0	4,185.3
1993-94	1,076.5	141.0	427.0	187.4	791.6	143.4	220.3	27.5	632.7	343.1	109.5	3,023.4
1993												
June qtr	918.2	332.5	649.0	289.3	1,641.2	137.8	237.6	12.8	481.9	293.2	110.0	4,185.3
Sept. qtr	945.1	291.1	370.3	287.5	810.7	160.0	256.4	20.0	495.9	333.7	121.4	3,146.9
Dec. qtr	965.3	313.2	306.2	152.9	849.1	169.1	249.5	23.9	515.8	343.2	104.5	3,027.3
1994												
Mar. qtr	949.4	140.5	283.9	114.4	877.4	160.7	186.8	26.1	619.9	366.0	95.9	2,871.5
June qtr	1,076.5	141.0	427.0	187.4	791.6	143.4	220.3	27.5	632.7	343.1	109.5	3,023.4
Sept. qtr	1,325.0	133.3	455.5	181.9	619.2	118.9	187.3	25.2	719.2	170.4	112.8	2,723.8
Dec. qtr	1,728.6	122.6	411.0	186.6	620.2	130.2	158.7	21.7	679.4	112.5	200.2	2,643.1
COMPLETED												
1991-92	800.4	713.7	220.5	225.2	1,589.4	469.6	350.6	21.5	175.6	168.1	193.2	4,127.5
1992-93	974.8	429.7	347.9	268.9	1,111.3	508.5	210.4	21.5	114.0	124.4	54.8	3,191.5
1993-94	1,076.3	26.3	585.7	293.2	1,250.9	213.4	238.7	17.2	147.9	128.9	120.5	3,022.7
1993												
June qtr	231.9	10.9	40.1	38.0	158.5	315.4	53.8	6.7	30.3	42.0	11.4	706.9
Sept. qtr	275.2	3.8	336.8	28.9	830.5	46.2	34.1	3.2	11.7	16.5	10.9	1,322.6
Dec. qtr	333.7	8.1	146.2	170.5	174.3	72.1	70.5	4.8	38.6	39.2	78.2	802.4
1994												
Mar. qtr	267.9	5.3	59.3	59.3	92.2	28.7	93.1	6.1	51.6	33.8	22.2	451.6
June qtr	199.6	9.1	43.5	34.5	153.9	66.5	41.0	3.1	46.0	39.4	9.2	446.1
Sept. qtr	266.5	9.5	99.5	57.5	288.1	47.7	66.6	6.0	8.4	227.5	17.0	827.8
Dec. qtr	245.4	32.8	102.2	51.0	98.7	37.6	85.2	10.9	119.6	78.6	11.2	627.7

TABLE 4. VALUE OF BUILDING ACTIVITY BY CLASS OF BUILDING AND STAGE OF CONSTRUCTION, SYDNEY STATISTICAL DIVISION - continued
(\$m)

Period	Non-residential building										Total
	Other residential buildings (a)	Hotels, etc.	Shops	Factories	Offices	Other business premises	Educational	Religious	Health	Entertain-ment and recreational	Miscellaneous
VALUE OF WORK DONE DURING PERIOD											
1991-92	734.2	347.7	390.3	261.2	1,305.6	379.8	204.1	23.3	146.3	149.1	121.1
1992-93	1,031.3	104.4	377.3	252.6	947.3	198.7	233.0	19.6	271.4	185.9	82.5
1993-94	1,141.7	58.7	360.6	209.0	647.3	232.2	265.1	24.4	256.0	278.2	89.3
1993											
June qtr	232.7	8.4	76.2	55.0	205.3	41.2	68.4	5.4	52.6	55.5	18.1
Sept. qtr	280.2	9.9	105.8	56.1	195.4	45.0	68.4	4.3	55.8	74.0	18.5
Dec. qtr	304.9	13.5	100.5	61.2	166.5	73.6	85.5	5.6	56.2	74.7	26.8
1994											
Mar. qtr	259.7	13.1	50.5	35.6	144.6	47.0	61.7	7.4	58.7	65.9	19.1
June qtr	296.8	22.3	103.7	56.0	140.9	66.6	49.4	7.0	85.2	63.5	24.9
Sept. qtr	348.9	25.5	103.5	67.4	140.7	36.2	51.1	7.6	50.7	72.6	29.4
Dec. qtr	425.7	12.1	112.0	70.7	149.2	26.7	47.9	6.1	71.5	45.0	29.4
VALUE OF WORK YET TO BE DONE											
1991-92	505.3	319.2	310.9	104.8	1,050.1	80.3	95.1	12.1	57.0	290.9	55.0
1992-93	494.5	299.7	273.2	108.7	575.6	74.6	132.7	5.6	208.7	165.1	22.2
1993-94	594.8	96.3	277.7	97.7	364.2	75.7	90.7	13.7	251.4	70.6	53.0
1993 -											
June qtr	494.5	299.7	273.2	108.7	575.6	74.6	132.7	5.6	208.7	165.1	22.2
Sept. qtr	518.8	255.2	225.5	84.9	380.5	104.5	117.4	11.5	178.5	149.5	26.0
Dec. qtr	570.7	271.9	207.2	59.7	426.6	112.1	96.2	15.2	180.7	125.1	60.6
1994											
Mar. qtr	564.6	109.0	194.6	45.6	402.5	85.4	65.2	16.2	277.7	115.7	55.1
June qtr	594.8	96.3	277.7	97.7	364.2	75.7	90.7	13.7	251.4	70.6	53.0
Sept. qtr	763.9	72.7	302.6	82.2	356.2	63.2	74.8	9.8	295.6	52.9	44.1
Dec. qtr	1,007.3	82.6	248.2	67.8	306.6	85.4	83.4	11.1	304.0	28.6	113.2

(a) Includes alterations and additions to other residential buildings but excludes all work on houses. For definitions, see Explanatory Note 9.

**TABLE 5. NUMBER OF DWELLING UNITS BY STAGE OF CONSTRUCTION, NSW
SEASONALLY ADJUSTED SERIES (a)**

Period	Houses				Total			
	Private sector		Total		Private sector		Total	
	Commenced	Completed	Commenced	Completed	Commenced	Completed	Commenced	Completed
1993 Sept. qtr	7,008	6,668	7,210	6,992	10,742	10,339	11,437	11,396
Dec. qtr	6,494	7,427	6,559	7,633	10,579	10,866	11,065	12,165
1994 Mar. qtr	6,920	7,245	7,066	7,329	10,874	11,533	11,351	11,736
June qtr	8,101	6,444	8,297	6,626	12,780	9,815	13,325	10,478
Sept. qtr	7,641	7,654	7,829	7,774	13,395	11,750	13,928	11,919
Dec. qtr	7,175	7,160	7,255	7,323	12,057	10,302	12,588	10,844

(a) Series have been revised due to annual re-analysis of seasonal adjustment factors.

**TABLE 6. VALUE OF BUILDING WORK DONE, NSW
SEASONALLY ADJUSTED SERIES (a)
(\$ million)**

(\$ million)							
Period	New residential building			Alterations and additions to residential buildings	Non-residential building		Total building
	Houses	Other residential buildings	Total		Private sector	Total	
1993 Sept. qtr	786.1	354.4	1,127.2	259.2	500.1	823.0	2,195.1
Dec. qtr	710.2	371.1	1,084.5	246.2	497.6	832.4	2,188.8
1994 Mar. qtr	742.5	350.8	1,096.4	264.0	430.4	698.2	2,044.8
June qtr	854.7	391.0	1,255.6	289.0	545.6	846.0	2,386.2
Sept. qtr	828.0	421.8	1,232.4	298.8	531.9	777.3	2,298.3
Dec. qtr	843.4	458.4	1,306.1	309.2	526.6	745.5	2,393.3

(a) Series have been revised due to annual re-analysis of seasonal adjustment factors.

TABLE 7. VALUE OF BUILDING WORK COMMENCED, AT AVERAGE 1989-90 PRICES (a), NSW
(\$ million)

Period	New residential building			Alterations and additions to residential buildings	Non-residential building		Total building
	Houses	Other residential buildings	Total		Private sector	Total	
1991-92	2,518.3	1,223.3	3,741.6	857.6	2,189.0	3,315.1	7,914.3
1992-93	2,664.1	1,482.9	4,147.0	901.5	1,834.9	2,959.9	8,008.4
1993-94	2,851.2	1,593.6	4,444.8	989.8	2,114.7	3,102.3	8,536.9
1993 Sept. qtr	739.7	400.7	1,140.4	258.3	542.0	709.7	2,108.4
Dec. qtr	662.7	429.9	1,092.6	253.0	477.2	895.7	2,241.3
1994 Mar. qtr	616.4	356.5	972.9	205.5	456.3	684.1	1,862.5
June qtr	832.4	406.5	1,238.9	273.0	639.2	812.8	2,324.7
Sept. qtr	804.7	649.1	1,453.8	282.7	491.2	706.9	2,443.4
Dec. qtr	740.3	659.0	1,399.3	316.8	456.7	724.4	2,440.5

(a) See paragraphs 24 and 25 of the Explanatory Notes. Constant price estimates are subject to revision each quarter as more up to date information on prices and commodity compositions becomes available.

TABLE 8. VALUE OF BUILDING WORK DONE, AT AVERAGE 1989-90 PRICES (a), NSW
ORIGINAL AND SEASONALLY ADJUSTED SERIES
(\$ million)

(\$ million)							
Period	New residential building			Alterations and additions to residential buildings	Non-residential building		Total building
	Houses	Other residential buildings	Total		Private sector	Total	
ORIGINAL							
1991-92	2,498.0	1,077.0	3,575.0	884.1	2,992.9	4,304.2	8,763.3
1992-93	2,680.3	1,509.1	4,189.4	932.0	2,307.8	3,624.1	8,745.5
1993-94	2,867.0	1,572.9	4,439.9	978.5	2,066.9	3,346.3	8,764.7
1993 Sept. qtr —	753.3	388.8	1,142.1	251.0	538.3	865.7	2,258.8
Dec. qtr	694.9	423.8	1,118.7	252.0	566.8	910.4	2,281.1
1994 Mar. qtr	637.7	357.2	994.9	216.7	410.1	706.4	1,918.0
June qtr	781.1	403.1	1,184.2	258.8	551.7	863.8	2,306.8
Sept. qtr	776.8	456.9	1,233.7	283.9	563.3	806.1	2,323.7
Dec. qtr	809.7	510.0	1,319.7	310.7	589.2	798.3	2,428.7
SEASONALLY ADJUSTED							
1993 Sept. qtr —	735.4	381.4	1,103.7	242.5	524.3	862.8	2,193.5
Dec. qtr	658.7	398.8	1,060.9	228.3	520.5	870.7	2,184.4
1994 Mar. qtr	685.7	376.3	1,065.7	243.8	449.7	729.5	2,027.5
June qtr	787.9	417.2	1,213.7	266.4	567.2	879.6	2,355.6
Sept. qtr	758.9	445.9	1,188.1	273.8	549.4	803.0	2,253.7
Dec. qtr	767.4	480.5	1,252.3	281.4	540.1	764.6	2,328.6

(a) See paragraphs 24 and 25 of the Explanatory Notes. Constant price estimates are subject to revision each quarter as more up to date information on prices and commodity compositions becomes available.

**TABLE 9. NUMBER OF DWELLING UNITS BY OWNERSHIP,
CLASS OF BUILDER AND STAGE OF CONSTRUCTION, NSW**

Period	Private sector					Public sector			Total		
	Houses			Other residential buildings	Total	Houses	Other residential buildings	Total	Houses	Other residential buildings	Total
	Contractor- built	Other	Total								
COMMENCED											
1991-92	17,541	7,871	25,412	11,542	36,954	975	2,809	3,784	26,387	14,351	40,738
1992-93	19,193	7,361	26,554	14,225	40,779	843	2,839	3,682	27,397	17,064	44,461
1993-94	22,289	6,257	28,547	16,385	44,932	615	1,634	2,249	29,162	18,019	47,181
1993 Sept. qtr	5,938	1,465	7,403	3,840	11,243	200	681	881	7,603	4,521	12,124
Dec. qtr	5,093	1,606	6,699	4,571	11,270	87	244	331	6,786	4,815	11,601
1994 Mar. qtr	4,891	1,262	6,153	3,642	9,795	94	280	374	6,247	3,922	10,169
June qtr	6,367	1,925	8,292	4,332	12,624	234	429	663	8,526	4,761	13,287
Sept. qtr	6,491	1,581	8,072	5,948	14,020	184	534	718	8,256	6,482	14,738
Dec. qtr	5,441	1,981	7,422	5,436	12,858	106	237	343	7,528	5,673	13,201
UNDER CONSTRUCTION AT END OF PERIOD											
1991-92	5,905	9,859	15,764	9,069	24,833	210	2,274	2,484	15,974	11,343	27,317
1992-93	6,194	9,133	15,326	10,377	25,703	390	1,821	2,211	15,716	12,198	27,914
1993-94	7,507	8,220	15,727	11,762	27,489	198	930	1,128	15,925	12,692	28,617
1993 Sept. qtr	7,018	9,075	16,094	10,449	26,543	266	1,609	1,875	16,360	12,058	28,418
Dec. qtr	5,755	8,742	14,497	11,058	25,555	81	558	639	14,578	11,616	26,194
1994 Mar. qtr	5,900	7,907	13,807	10,800	24,607	89	640	729	13,896	11,440	25,336
June qtr	7,507	8,220	15,727	11,762	27,489	198	930	1,128	15,925	12,692	28,617
Sept. qtr	8,345	7,841	16,185	13,593	29,778	252	1,165	1,417	16,437	14,758	31,195
Dec. qtr	7,562	8,080	15,642	15,386	31,028	137	927	1,064	15,779	16,313	32,092
COMPLETED											
1991-92	16,533	7,770	24,303	10,230	34,533	951	2,356	3,307	25,254	12,586	37,840
1992-93	18,906	7,612	26,519	12,548	39,067	663	3,292	3,955	27,182	15,840	43,022
1993-94	21,129	6,694	27,823	14,709	42,532	807	2,521	3,328	28,630	17,230	45,860
1993 Sept. qtr	5,202	1,358	6,560	3,652	10,212	324	889	1,213	6,884	4,541	11,425
Dec. qtr	6,319	1,888	8,207	3,895	12,102	272	1,295	1,567	8,479	5,190	13,669
1994 Mar. qtr	4,749	2,011	6,761	3,865	10,626	86	198	284	6,847	4,063	10,910
June qtr	4,858	1,437	6,295	3,297	9,592	125	139	264	6,420	3,436	9,856
Sept. qtr	5,791	1,744	7,535	4,057	11,592	131	299	430	7,666	4,356	12,022
Dec. qtr	6,204	1,718	7,922	3,577	11,499	221	475	696	8,143	4,052	12,195

TABLE 10. NUMBER AND VALUE OF NEW HOUSES BUILT BY CONTRACT BUILDERS FOR PRIVATE OWNERSHIP, BY COMPLETION VALUE RANGE AND STAGE OF CONSTRUCTION, NSW

Period	Commenced				Under construction at end of period				Completed			
	Less than \$40,000	\$40,000 to \$59,999	\$60,000 and over	Total	Less than \$40,000	\$40,000 to \$59,999	\$60,000 and over	Total	Less than \$40,000	\$40,000 to \$59,999	\$60,000 and over	Total
NUMBER												
1991-92	244	2,287	15,010	17,541	108	465	5,331	5,905	231	2,462	13,840	16,533
1992-93	301	2,541	16,351	19,193	66	593	5,535	6,194	379	2,342	16,185	18,906
1993-94	377	2,168	19,745	22,289	110	479	6,918	7,507	370	2,248	18,511	21,129
1993 Sept. qtr	79	635	5,224	5,938	123	664	6,232	7,018	40	592	4,571	5,202
Dec. qtr	100	599	4,395	5,093	123	565	5,067	5,755	119	656	5,544	6,319
1994 Mar. qtr	59	497	4,335	4,891	63	475	5,362	5,900	99	589	4,061	4,749
June qtr	139	437	5,791	6,367	110	479	6,918	7,507	112	411	4,335	4,858
Sept. qtr	40	556	5,895	6,491	97	567	7,681	8,345	53	468	5,270	5,791
Dec. qtr	20	516	4,905	5,441	77	409	7,076	7,562	40	634	5,531	6,204
VALUE (\$m)												
1991-92	7.6	117.7	1,620.1	1,745.4	3.4	23.7	722.7	749.8	6.9	127.1	1,529.9	1,663.9
1992-93	8.5	132.8	1,788.2	1,929.6	2.0	30.8	726.5	759.2	11.1	122.1	1,820.3	1,953.5
1993-94	11.7	113.5	2,199.7	2,324.9	3.3	25.2	906.4	934.8	11.9	116.8	2,068.3	2,197.1
1993 Sept. qtr	2.2	33.7	564.8	600.7	3.5	34.7	800.5	838.6	1.2	31.1	504.4	536.8
Dec. qtr	3.5	30.2	488.7	522.4	3.6	28.5	676.7	708.9	4.2	33.6	613.6	651.3
1994 Mar. qtr	1.5	26.7	491.9	520.1	1.7	24.3	718.4	744.4	2.8	30.6	459.1	492.5
June qtr	4.5	22.9	654.4	681.8	3.3	25.2	906.4	934.8	3.7	21.5	491.3	516.5
Sept. qtr	1.2	29.2	654.4	684.8	2.9	29.9	1,011.8	1,044.6	1.6	24.7	583.8	610.2
Dec. qtr	0.8	26.5	532.6	559.9	2.3	21.4	907.1	930.8	1.6	32.5	646.8	680.8

**TABLE 11. SUMMARY OF BUILDING ACTIVITY, NSW
RELATIVE STANDARD ERRORS, DECEMBER QUARTER 1994
(per cent)**

(per cent)						
Ownership and stage of construction	New residential building				Value	
	Houses		Total		Alterations and additions to residential buildings	Total building
	Number	Value	Number of dwelling units	Value		
PRIVATE SECTOR						
Commenced	3.7	4.3	2.1	2.4	4.2	1.7
Under construction at end of period	3.0	3.2	1.5	1.6	2.8	1.0
Completed	4.4	4.9	3.0	3.6	5.2	2.3
Value of work done	..	2.9	..	1.9	3.5	1.3
Value of work yet to be done	..	4.1	..	1.8	3.1	1.1
TOTAL PRIVATE AND PUBLIC SECTORS						
Commenced	3.6	4.2	2.1	2.4	4.2	1.5
Under construction at end of period	3.0	3.2	1.4	1.6	2.8	0.8
Completed	4.2	4.7	2.8	3.5	5.2	1.9
Value of work done	..	2.9	..	1.9	3.5	1.1
Value of work yet to be done	..	4.1	..	1.8	3.1	0.9

EXPLANATORY NOTES

Introduction

This publication contains detailed results from the quarterly Building Activity Survey. Users should note that data for the latest quarter is subject to revision.

2. The statistics are compiled on the basis of returns collected from builders and other individuals and organisations engaged in building activity. The quarterly survey consists of two components.

- (a) A sample survey of private sector house building activity involving new house construction or alterations and additions valued at \$10,000 or more to houses.
- (b) A complete enumeration of jobs involving construction of new residential buildings other than private sector houses, all alterations and additions to residential buildings (other than private sector houses) with an approval value of \$10,000 or more, and all non-residential building jobs with an approval value of \$50,000 or more.

3. Prior to the September quarter 1990, the cut-off for inclusion of non-residential building jobs (both new and alterations and additions) was \$30,000 or more and prior to the September quarter 1985 it was \$10,000 or more. Care should be taken in interpreting data for specific classes of non-residential building.

4. The use of sample survey techniques in the Building Activity Survey means that reliable estimates of private sector house building activity, including alterations and additions to houses, are available only at the State/Territory and Australia levels with the exception of the Northern Territory. However, dwelling unit commencement data for regions below State level are shown in the monthly series of dwelling unit commencements compiled by State offices of the ABS. Data from this series, unlike those compiled from the Building Activity Survey, are based on information reported by local and other government authorities.

Scope and coverage

5. The statistics relate to *building* activity which includes construction of new buildings and alterations and additions to existing buildings. Construction activity not defined as building (e.g. construction of roads, bridges, railways, earthworks, etc.) is excluded.

6. Building jobs included in each quarter in the Building Activity Survey comprise those building jobs selected in previous quarters which have not been completed (or commenced) by the end of the previous quarter and those building jobs newly selected in the current quarter. The population list from which building jobs are selected for inclusion comprises all approved building jobs which were notified to the ABS up to but not including the last month of the reference quarter (e.g. up to the end of August in respect of the September quarter survey). This introduces a lag to the statistics in respect of those building jobs notified and commenced in the last month of the reference quarter (e.g. for the month of September in respect of the September quarter survey). For example, building jobs which were notified as approved in the month of June and which actually commenced in that month are shown as commencements in the September quarter. Similarly, building jobs which were notified in the month of September and which actually commenced in that month are shown as commencements in the December quarter.

Definitions

7. A *building* is defined as a rigid, fixed and permanent structure which has a roof. Its intended purpose is primarily to house people, plant, machinery, vehicles, goods or livestock. An integral feature of a building's design, to satisfy its intended use, is the provision for regular access by persons.

8. A *dwelling unit* is defined as a self-contained suite of rooms, including cooking and bathing facilities and intended for long-term residential use. Units (whether self-contained or not) within buildings offering institutional care, such as hospitals, or temporary accommodation such as motels, hostels and holiday apartments, are not defined as dwelling units. The value of units of this type is included in the appropriate category of non-residential building.

9. A *residential building* is defined as a building predominantly consisting of one or more dwelling units. Residential buildings can be either *houses* or *other residential buildings*.

- (a) A *house* is defined as a detached building predominantly used for long-term residential purposes and consisting of only one dwelling unit. Thus, detached 'granny flats' and detached dwelling units (such as caretakers' residences) associated with non-residential buildings are defined as houses for the purpose of these statistics.

- (b) An *other residential building* is defined as a building which is predominantly used for long-term residential purposes and which contains (or has attached to it) more than one dwelling unit (e.g. includes townhouses, duplexes, apartment buildings, etc.).

10. The number of dwelling units created by alterations and additions to existing buildings, and through the construction of new non-residential buildings, is not included in the tables but is shown as a footnote to Table 1.

11. *Commenced.* A building job is regarded as commenced when the first physical building activity has been performed on site in the form of materials fixed in place and/or labour expended (this includes site preparation but excludes delivery of building materials, the drawing of plans and specifications and the construction of non-building infrastructures such as roads).

12. *Under construction.* A building job is regarded as being under construction at the end of a period if it has been commenced but has not been completed, and work on it has not been abandoned.

13. *Completed.* A building job is regarded as completed when building activity has progressed to the stage when the building can fulfil its intended function. In practice, the ABS regards buildings as completed when notified as such by respondents to the survey.

Valuation of building jobs

14. The value series in this publication are derived from estimates reported on survey returns as follows.

- (a) *Value of building commenced or under construction* represents the anticipated completion value based, where practicable, on estimated market or contract price of building jobs excluding the value of land and landscaping. Site preparation costs are included. Where building jobs proceed over several quarters, the

21. The imprecision due to sampling variability, which is measured by the relative standard error, should not be confused with inaccuracies that may occur because of inadequacies in the source of building approval information, imperfections in reporting by respondents, and errors made in the coding and processing of data. Inaccuracies of this kind are referred to as non-sampling error, and may occur in any enumeration whether it be a full count or only a sample. Every effort is made to reduce the non-sampling error to a minimum by the careful design of questionnaires, efforts to obtain responses for all selected building jobs, and efficient operating procedures.

Seasonal adjustment

22. Seasonally adjusted building statistics are shown in Tables 5, 6 and 8. In the seasonally adjusted series, account has been taken of normal seasonal factors and trading day effects (arising from the varying numbers of Sundays, Mondays, Tuesdays etc. in the quarter) and the effect of the movement in the date of Easter which may, in successive years, affect figures for different quarters. In this publication (i.e. the December quarter issue) the seasonally adjusted series have been revised as a result of the annual re-analysis of seasonal factors. Details of the methods used in seasonally adjusting the series are given in *Seasonally Adjusted Indicators, Australia* (1308.0).

23. Since seasonally adjusted statistics reflect both irregular and trend movements, an upward or downward movement in a seasonally adjusted series does not necessarily indicate a change of trend. Particular care should therefore be taken in interpreting individual quarter to quarter movements. Each of the component series shown has been seasonally adjusted independently. As a consequence, while the unadjusted components in the original series shown add to the totals, the adjusted components may not add to the adjusted totals. Further, the difference between independently seasonally adjusted series does not necessarily produce series which are optimal or even adequate adjustments of the similarly derived original series. Thus the figures which can be derived by subtracting seasonally adjusted private sector dwelling units from the seasonally adjusted total should not be used to represent seasonally adjusted public sector dwelling units.

Estimates at constant prices

24. Estimates of the value of commencements and work done at average 1989-90 prices are shown in Tables 7 and 8. Constant price estimates measure changes in value after the direct effects of price changes have been eliminated. The deflators used to revalue the current price estimates in this publication are derived from the same price data underlying the deflators compiled for the dwellings and non-dwelling construction components of the national accounts aggregate 'Gross fixed capital expenditure'.

25. Estimates at constant prices are subject to a number of approximations and assumptions. Further information on the nature and concepts of constant price estimates is contained in Chapter 4 of *Australian National Accounts: Concepts, Sources and Methods* (5216.0).

26. The factors used to seasonally adjust the constant price series are identical to those used to adjust the corresponding current price series.

Unpublished data and related publications

27. The ABS can also make available certain building approvals and activity data which are not published. Where it is not practicable to provide the required information by telephone, data can be provided in the following forms: microfiche, photocopy, computer printout, floppy disk and clerically extracted tabulation. Inquiries should be made to the contact shown at the front of this publication.

28. Users may also wish to refer to the following building and construction publications which are available on request:

Building Approvals, Australia (8731.0) – monthly (\$13.50)
Building Approvals, New South Wales (8731.1) – monthly (\$13.00)
Dwelling Unit Commencements Reported by Approving Authorities, New South Wales (8741.1) – monthly (\$13.00)
Building Activity, Australia : Dwelling Unit Commencements, Preliminary (8750.0) – quarterly (\$11.00)
Engineering Construction Activity, Australia (8762.0) – quarterly (\$11.00)
Housing Finance for Owner Occupation, Australia (5609.0) – monthly (\$13.00)

29. Current publications produced by the ABS are listed in the *Catalogue of Publications and Products, Australia* (1101.0). The ABS also issues, on Tuesdays and Fridays, a *Publications Advice* (1105.0) which lists publications to be released in the next few days. The Catalogue and Publications Advice are available from any ABS office.

Symbols and other usages

.. not applicable
 — nil or rounded to zero
 r figure or series revised since previous issue

30. Where figures have been rounded, discrepancies may occur between sums of the component items and totals.

GREG BRAY
Acting Deputy Commonwealth Statistician

anticipated completion value reported on the return for the first (commencement) quarter may be amended on returns for subsequent (under construction) quarters as the job nears completion.

- (b) *Value of building completed* represents the actual completion value based, where practicable, on the market or contract price of building jobs including site preparation costs but excluding the value of land and landscaping.
- (c) *Value of building work done during the period* represents the estimated value of building work actually carried out during the quarter on building jobs which have commenced.
- (d) *Value of building work yet to be done* represents the difference between the anticipated completion value and the estimated value of work done up to the end of the period on building jobs commenced but not completed.

Building classification

15. *Ownership.* The ownership of a building is classified as either *public sector* or *private sector* according to the sector of the intended owner of the completed building as evident at the time of approval. Residential buildings being constructed by private sector builders under government housing authority schemes whereby the authority has contracted, or intends to contract, to purchase the buildings on or before completion, are classified as public sector.

16. *Builder type.* Houses are classified according to the type of builder as follows.

- (a) *Contractor-built houses* are those constructed by a private recognised building contractor, either under contract, or in anticipation of sale or rental.
- (b) *Houses built by other than contract builders* are those constructed by an owner (other than a recognised building contractor) or under the owner's direction, without the services of a single contractor responsible for the whole job. Houses built by businesses (other than recognised building contractors) and public sector organisations are also included in this category.

17. *Functional classification of buildings.* A building is classified according to its intended major function. Hence, a building which is ancillary to other buildings or forms a part of a group of related buildings is classified to the function of the building and not to the function of the group as a whole. An example of this can be seen in the treatment of building work approved for a factory complex. In this case a detached administration building would be classified to Offices, a detached cafeteria building to Shops, while factory buildings would be classified to Factories. An exception to this rule is the treatment of group accommodation buildings where, for example, a student accommodation building on a university campus would be classified to Educational.

18. Examples of the types of buildings included under each main functional heading are shown in the following list.

- (a) *Houses.* Includes cottages, bungalows, detached caretakers'/managers' cottages, rectories.
- (b) *Other residential buildings.* Includes blocks of flats, home units, attached townhouses, villa units, terrace houses, semi-detached houses, maisonettes.
- (c) *Hotels, etc.* Includes motels, hostels, boarding houses, guesthouses, holiday apartment buildings.

- (d) *Shops.* Includes retail shops, restaurants, cafes, taverns, dry cleaners, laundromats, hair salons, shopping arcades.
- (e) *Factories.* Includes paper mills, oil refinery buildings, brickworks, foundries, powerhouses, manufacturing laboratories, workshops as part of a manufacturing process.
- (f) *Offices.* Includes banks, post offices, council chambers, head and regional offices.
- (g) *Other business premises.* Includes warehouses, storage depots, service stations, transport depots and terminals, electricity sub-station buildings, pumping station buildings, telephone exchanges, mail sorting centres, broadcasting stations, film studios.
- (h) *Educational.* Includes schools, colleges, kindergartens, libraries, museums, art galleries, research and teaching laboratories, theological colleges.
- (i) *Religious.* Includes churches, chapels, temples.
- (j) *Health.* Includes hospitals, nursing homes, surgeries, clinics, medical centres.
- (k) *Entertainment and recreational.* Includes clubs, theatres, cinemas, public halls, gymnasiums, grandstands, squash courts, sports and recreation centres.
- (l) *Miscellaneous.* Includes law courts, homes for the aged (where medical care is not provided as a normal service), orphanages, gaols, barracks, mine buildings, glasshouses, livestock sheds, shearing sheds, fruit and skin drying sheds, public toilets, and ambulance, fire and police stations.

Reliability of the estimates

19. Since the figures for private sector house building activity (including alterations and additions) are derived from information obtained from a sample of approved building jobs, they are subject to sampling error; that is, they may differ from the figures that would have been obtained if information for all approved jobs for the relevant period had been included in the survey. One measure of the likely difference is given by the *standard error*, which indicates the extent to which an estimate might have varied by chance because only a sample of approved jobs was included. There are about two chances in three that a sample estimate will differ by less than one standard error from the figure that would have been obtained if all approved jobs had been included, and about nineteen chances in twenty that the difference will be less than two standard errors. Another measure of sampling variability is the *relative standard error*, which is obtained by expressing the standard error as a percentage of the estimate to which it refers. The relative standard errors of estimates provide an indication of the percentage errors likely to have occurred due to sampling, and are shown in Table 11.

20. An example of the use of relative standard errors is as follows. Assume that the estimate of the number of new private sector houses commenced during the latest quarter is 2,000 (for actual estimate see Table 2) and that the associated relative standard error is 2.5 per cent (for actual percentage see Table 11). There would then be about two chances in three that the number which would have been obtained if information had been collected about all approved private sector house jobs would have been within the range 1,950 to 2,050 (2.5 per cent of 2,000 is 50) and about nineteen chances in twenty that the number would have been within the range 1,900 to 2,100.



For more information ...

The ABS publishes a wide range of statistics and other information on Australia's economic and social conditions. Details of what is available in various publications and other products can be found in the *ABS Catalogue of Publications and Products* available at all ABS Offices.

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Information tailored to special needs of clients can be obtained from the Information Consultancy Service available at ABS Offices (see Information Inquiries below for contact details).

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